

## 6.0 DEVELOPMENT STANDARDS

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### INTRODUCTION

The following development standards apply as zoning within the Downtown Subarea pursuant to BMC 20.80. The development standards are supplemental to the Bremerton Municipal Code. These standards supercede where they diverge from the BMC. Topics not explicitly regulated remain subject to all provisions of the BMC.

## 6.1 DEFINITIONS

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**“Articulation”** means the manner in which the structure of the building is expressed.

**“Building Frontage Setback”** measures the distance from the structure to the inside line of the Desired Pedestrian Area as per Street Typologies.

**“Compatibility”** means the size and character of a building element relative to other elements around it.

**“Daylighting”** Daylighting means providing primarily natural rather than artificial lighting of an interior space. High daylighting potential is found in those spaces that are primarily daytime occupied. When properly designed and effectively integrated with the electric lighting system, daylighting can offer significant energy savings by offsetting a portion of the electric lighting load.

**“Expression Lines”** Elements of a building facade which express its structure including cornices, fenestration, columns and bays.

**“Facade”** any vertical, exterior face or wall of a building, often distinguished from other faces by architectural details.

**“Impervious Surfaces”** are sealed surfaces which repel water and prevent precipitation from infiltrating soils.

**“Live Work”** means a commercial business that is physically combined with a residential unit, having direct and continuous interior access between business and residential. Not more than 2 persons engaged in any of the following areas:

1. artist studio (allowing walk-in trade)
2. high tech
3. general office and business services
4. personal services.

and at least one (1) of those persons resides in the dwelling unit where the use they engage is carried on. Live work businesses are subject to limited hours of operation from 8:30 AM to 7:00 PM.

**“Low impact development (LID)”** is a set of stormwater management practices that allows sustainable management of stormwater, including bio retention and infiltration facilities and permeable paving. See the Low Impact Development Technical Guidance Manual for Puget Sound.

**“Maximum Height”** calculations exclude

1. parapets
2. mechanical penthouses
3. roof forms and decorative elements not intended for occupancy
4. stairs
5. elevators

**“Modulation”** means horizontal or vertical variations in the plane of a structure wall within specified intervals of width and depth, as a means of breaking up a structure’s apparent bulk.

**“Mixed-use Building”** means a building that contains at least eighty percent of one floor devoted to allowed non-residential uses in a primarily residential building, or at least one door devoted to residential uses in a primarily commercial building.

**“Net Floor Area”** is the amount of floor area within a building as measured to the inside face of the exterior building walls, excluding

1. spaces below grade
2. space devoted to parking
3. mechanical space
4. elevator and stair shafts
5. space devoted to special amenities
6. exterior decks open to the air

**“Open Space”** includes

1. Private balconies of any size immediately adjacent to residential units
2. Outdoor areas (roof gardens and terraces and at grade exterior spaces) with a minimum of ten (10) feet by six (6) feet.
3. Indoor common amenity areas such a bicycle storage areas, exercise rooms or common rooms with a minimum dimension of ten (10) feet by ten (10) feet.

**“Pedestrian-Oriented”** means commercial uses with the following attributes:

1. Scale and character that encourages an approach by either walking or cycling.
2. Walk-in trade and small business establishments such as specialized retail and food stores, restaurants, personal service establishments, convenience stores, professional services.

3. Contain outdoor displays and contribute to the ground level activity of the street.

**“Roof Peak”** The highest point of the building.

**“Scale, Human”** means architectural and structural proportions that relate to the human form and/or that exhibits through its structural or architectural components of the human functions contained within.

**“Street Wall”** means that portion of the building which directly abuts the Building Frontage Setback.

**“Transitional Area”** Portion of property facing the linear street frontage which is required to achieve a desired pedestrian area as per street typology requirement.

**“Tower”** means that portion of a building that penetrates a sky exposure plane above seventy five feet (75') in height. Towers are allowed only in specified high-density areas of the city. A tower may be occupied by residential, commercial or community facility uses.

**“Wall Plate”** that structural element (often a horizontal timber) situated along the top of a wall at the level of the eaves for bearing the ends of joists or rafters.

**“Wall to Window Ratio”** is the proportion of a wall area to compared to the total window area where the window is located. For example, if a window covers 25 square feet in a 100 square-foot wall then the WWR is  $25/100$  or 0.25.

**“Weather Protection”** means awnings, canopies, arbors which extend from the building facade a minimum projection of four feet over the pedestrian area. Projection must be greater than eight feet in height.

**“Work/Live”** combines residential as an accessory use with a commercial use allowed in the underlying zone and is located in a unit that is a suite of rooms of which not more than 40% of floor space is used for residential use.

## 6.2 PROCEDURES

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### 6.2.1 DESIGN REVIEW

(1) All projects within the Subarea with four or more residential units or 5,000 GSF commercial shall undergo Design Review per BMC 20.02.085. The DRB shall evaluate for compliance with a.) Design principles per Chapter 4 and b) Purpose and Intent statements of Chapter 6.

(2) Dimensional and Design Standards within this chapter are departable by Design Review Board excepting height limitations. Any departure granted shall be formally documented in the Design Review process, including why a departure is necessary to meet an Urban Design Principle in the Subarea Plan.

(3) Modification of Development Standards and deviation from the urban design principles of Chapter 4: Any proposal to modify development standards through a Design Review Procedure shall not undermine the intent of the standards of this Chapter.

### 6.2.2 APPLICABILITY OF OVERLAY ZONING DISTRICTS

(1) Mapping of overlay districts. The applicability of any overlay zoning district to a specific site is shown by the Overlay Map;

(2) Any land use allowed in the applicable base zoning district may be allowed within an overlay district, subject to any additional requirements of the overlay district;

(3) Development and new land uses within an overlay district shall obtain the land use permits required by the base zoning district.

### 6.2.3 SATELLITE PARKING.

For the purposes of this Chapter, Satellite Parking is allowed on any existing parking lot within the Downtown Subarea if satisfying a parking requirement for another use within the Subarea.

No new principal parking use may be constructed for Satellite Parking if not allowed in the zone. A binding agreement signed by the owner of the Satellite Parking must be executed, approved by the City, and recorded with the County Auditor.

### 6.2.4 STREET TREE ALLOCATION

Where applicable, this area located within the building frontage setback may be either private property subject to a condition of development or dedicated as public right of way.

### 6.2.5 SIDEWALK ALLOCATION

(1) For all zones a sidewalk allocation shall be provided according to street typology.

(2) Sidewalk allocation may be either private property subject to a condition of development or dedicated as public right of way.



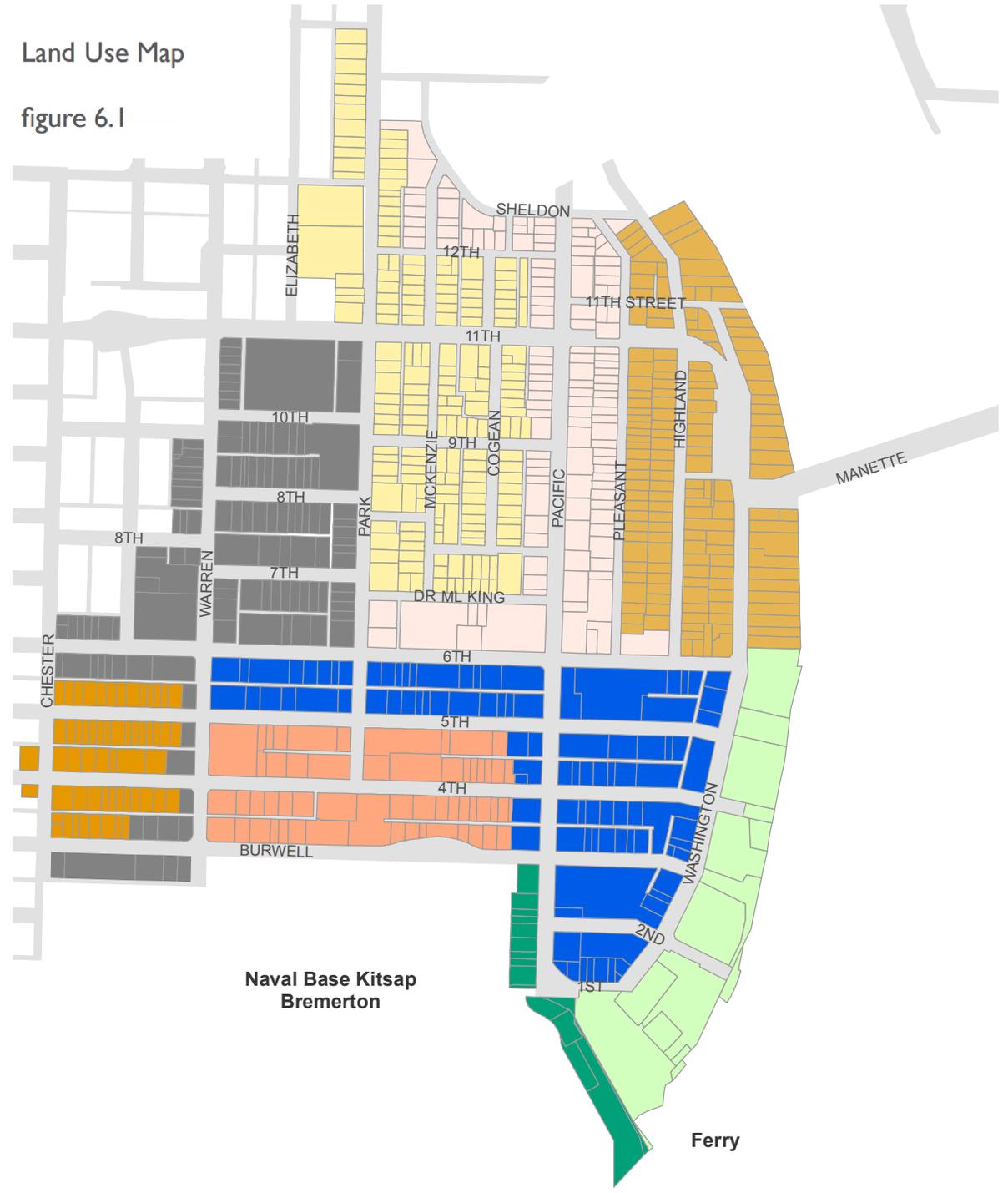
**DEVELOPMENT STANDARDS**

6-100

-  Downtown Core (DC)
-  Downtown Waterfront (DW)
-  Employment District (ED)
-  Multifamily Residential 1 (MR1)
-  Multifamily Residential 2 (MR2)
-  Parks (P)
-  Pedestrian Oriented Mixed Use (POMU)
-  One and Two Family Residential (R-20)
-  Downtown Support District (DSD)

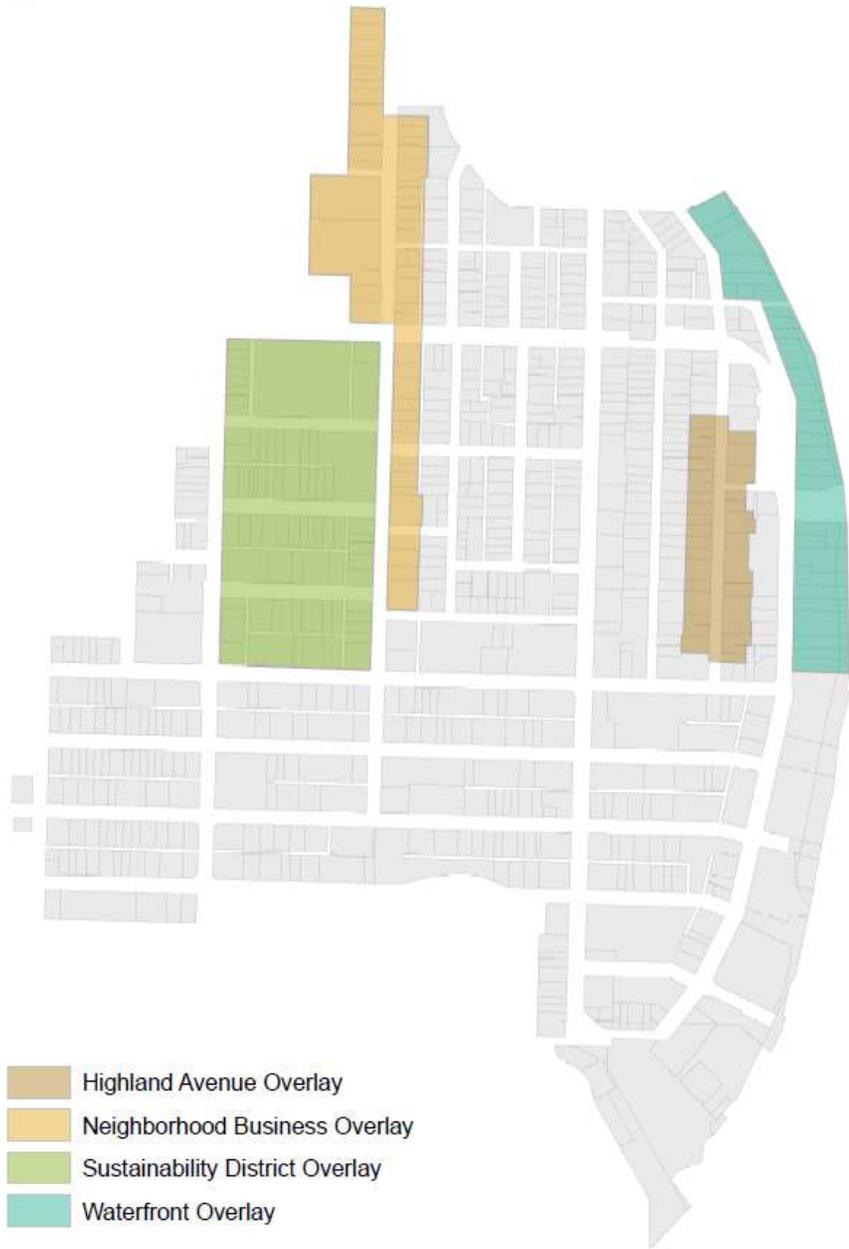
Land Use Map

figure 6.1



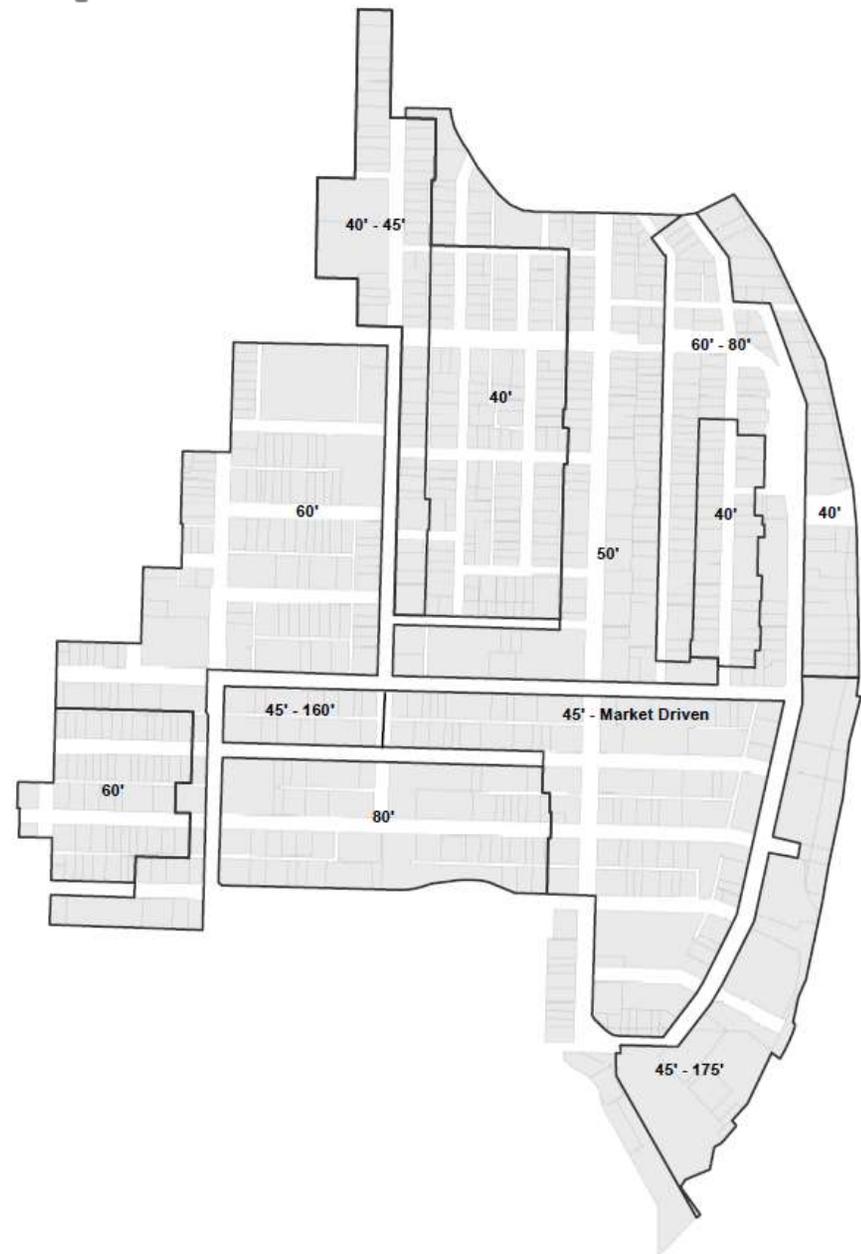
# Overlay District

figure 6.2



# Heights

figure 6.3





**6.3 DOWNTOWN CORE**

**6.3.1 INTENT AND PURPOSE**

(1) The intent of this zone is to focus commercial, entertainment, cultural, civic uses and urban residential into an active compact, walkable area served by public transit. This zone is served by a Bonus Amenity Program.

(2) Allow taller buildings with required spacing and bulk controls to lessen environmental impacts such as overshadowing and wind down drafts.

(3) Introduce a vibrant mixed use neighborhood and improve the pedestrian oriented nature of downtown to reduce dependence on the automobile.

**6.3.2 USE STANDARDS**

(1) Pursuant to BMC 20.75.020 and BMC 20.75.050 with the following additions:

- i. Hotels shall be considered residential uses.
- ii. Work/live
- iii. Live/Work

(2) Pedestrian oriented uses required on a minimum of sixty (60) percent of ground floor.\*

\*Where the market is not yet available for pedestrian oriented uses, ground floor spaces may be designed in such a manner that frontages may be easily adaptable to future active uses. To be considered adaptable, ground floor facades must have a fourteen (14) foot floor to ceiling height and the sidewalk level facade must include an entrance or entrances to accommodate a single or multiple tenants or be structurally designed so entrances can be added when building is converted to pedestrian oriented uses.

**6.3.3 LOT REQUIREMENTS**

(1) Development shall comply with the following floor area ratio, defined as the net floor area divided by the lot area.

Maximum Base FAR	3.25
Minimum FAR	1.0

(2) FAR may be increased beyond 3.25 when a public amenity is provided as pursuant to Chapter 6.11 Bonus Amenity Chart in collaboration with the Design Review Board, and provided design guidelines and design standards are met.

(3) Maximum Lot Coverage for structures above 45'	75%
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**6.3.4 HEIGHT REQUIREMENTS**

(1) Maximum allowable heights within the DC zone are pursuant to figure 6.3.

- (2) Minimum street wall height 30'
- (3) Maximum street wall height 45'  
(see setback standards)
- (4) Minimum fourteen (14) feet floor to ceiling height at ground floor.

**6.3.5 AMENITY SPACE REQUIREMENTS**

(1) Open space required per unit	75 sq. ft.
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6.3.6 DESIGN STANDARDS

A. Downtown Core Setbacks

	Height Condition	Building Frontage (Front Setback)	Minimum Side	Minimum Rear
Building Base	0-18'	0	0	0
Building Mid	19'-45'	0	10'	0
Building Top	45' up	8'	10'	10'

B. Building Facade Requirements

(1) A minimum of sixty (60) percent between two (2) and eight (8) feet in height must be comprised of doors or transparent windows that allow views of interior product display areas.

(2) Minimum Required Entrances One (1) entrance per fifty (50) lineal feet of sidewalk.

(3) Weather Protection 75% of front facade.

6.3.7 MAXIMUM ALLOWABLE TOWER FLOORPLATE

- (1) Residential uses 12,000 GSF
- (2) Commercial uses 20,000 GSF

6.3.8 TOWER SITING

(1) Towers (structures above seventy five (75) feet in height) may not be built within an eighty (80) foot dimension from the edge of an existing tower.

6.3.9 PARKING REQUIREMENTS

- (1) Nonresidential uses per 1,000 GSF  
Minimum 1 space  
Maximum 4 space
- (2) Residential uses  
Minimum .5 spaces per residential unit
- (3) The first 3,000 ground floor GSF retail area shall be exempt from off street parking requirements.

6.3.10 PARKING DESIGN STANDARDS

(1) No surface parking shall be located between the building and the front property line. On corner lots, no parking shall be located between the building and either of the two (2) front property lines.

(2) For surface parking lots greater than five thousand (5,000) sq ft should provide clearly identifiable, lighted and landscaped pedestrian paths of at least eight (8) feet in width through the surface parking lot to building entrance. This path shall contain a continuous landscaped areas of at least three (3) feet wide on at least one side of the path except where a pathway crosses vehicular lanes.

(3) Structured parking is not permitted at first floor street facade. All parking located on the ground



### 6.3 DOWNTOWN CORE CONT'D

floor shall be screened behind active pedestrian or residential uses. Minimum depth of uses is twenty five (25) feet.

(4) Where commercial or residential space is not available to accomplish this, features such as planters, decorative grills, green screens or public art shall be used for screening subject to DRB approval.

(5) Parking garages are subject to design principles listed in Bremerton Subarea Plan Section 5.8.3

(6) Parking shall meet the requirements of Chapter 20.48 BMC except where conflicting the principles of this Chapter supersede.

#### 6.3.10 VEHICULAR ACCESS

(1) Parking and vehicular access from alley is required where alleys exist. Where no alley exists vehicular access is preferred from non Pedestrian Primary Streets.

(2) Driveways crossing a Primary Pedestrian Street must be clearly marked with appropriate signage and a cross with a minimum five (5) by five (5) foot notched view triangle to increase pedestrian safety.

#### 6.3.11 LANDSCAPING

Landscaping standards are pursuant to BMC 20.75.090 except where conflicting the principles of this Chapter supersede.

#### 6.3.12 SIGN STANDARDS

Sign standards are pursuant to BMC 20.75.100

#### 6.3.13 CHANGE OF USE OR REHABILITATION OF EXISTING BUILDING

Pursuant to BMC 20.75.110



**DEVELOPMENT STANDARDS**

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**6.4 DOWNTOWN WATERFRONT**

**6.4.1 INTENT AND PURPOSE**

- (1) The intent of this zone is to provide for an array of uses related to the water, multimodal transportation facilities, residential and mixed uses.
- (2) Maintain view corridors and encourage creation of public access to the water.
- (3) Increase building height with bulk controls to lessen environmental impacts such as overshadowing, wind down-draft, and loss of views.
- (4) Improve the pedestrian oriented nature and promote the public significance of the downtown waterfront zone by reducing surface parking and encouraging a higher and better use.

**6.4.2 USE STANDARDS**

- (1) Pursuant to BMC 20.76.020 and BMC 20.76.050 with the following addition:
  - i. Hotels shall be considered residential uses.
- (2) Pedestrian oriented uses required on a minimum of fifty (50) percent at the ground floor facade.

**6.4.3 LOT REQUIREMENTS**

- (1) Development shall comply with the following floor area ratio, defined as the net floor area divided by the lot area.

Maximum allowed FAR 2.0

- (2) FAR may be increased beyond 2.0 when a public amenity is provided as pursuant to Chapter 6.11 Bonus Amenity Chart in collaboration with the Design Review Board, and provided design principles and standards are met.

(3) Maximum Development Coverage for structures above 45' 75%

**6.4.4 HEIGHT REQUIREMENTS**

(1) Minimum street wall height	30'
(2) Maximum street wall height	45'
(3) First floor heights within DW zone must be a minimum of fourteen (14) feet floor to ceiling.	

**6.4.5 AMENITY SPACE REQUIREMENTS**

- (1) Open space required per unit 75 sq. ft.
- (2) Waterfront public open space and amenities achieved through the Bonus Amenity System (chapter 6.11) shall meet the following standards;

- i. New public open spaces shall include a clear path and view to the waterfront from the public right of way at Washington Avenue.
  - ii. Minimum dimension of a new public open space meeting the requirements of bonus amenity system 2A is sixty (60) feet along the Washington Avenue property line.
  - iii. All new exterior public open spaces within the Waterfront District must be improved with pedestrian pathways, seating opportunities, landscaping and adequate pedestrian scaled lighting. The above improvements must be provided on at least ten (10) percent of new amenity space surface area.
- (3) Waterfront public amenity spaces must be freely accessible to the public for a minimum of fourteen (14) hours daily.

6.4.6 DESIGN STANDARDS

A. Setbacks Downtown Waterfront

	Height Condition	Building Frontage (Front Setback)	Minimum Side	Minimum Rear
Base	0-18'	0	0	0
Mid	19'-45'	0	10'	0
Top	45' up	8'	10'	10'

B. Building Frontage

- (1) A minimum of sixty (60) percent between two (2) and eight (8) feet in height must be comprised of doors or transparent windows which provide views to interior displays.
- (2) Minimum Required Entrances One (1) entrance per fifty (50) lineal feet of sidewalk.\*
- (3) Weather Protection 75% of front facade.

\* This requirement may be met by the design of ground related entrances to townhouse units.



## 6.4 DOWNTOWN WATERFRONT CONT'D

### 6.4.7 TOWER MAXIMUM ALLOWABLE FLOORPLATE

10,000 GSF

### 6.4.8 TOWER SITING

(1) Towers (structures above seventy five (75) feet in height) may not be built within an eighty (80) foot dimension from the edge of an existing tower.

### 6.4.9 PARKING REQUIREMENTS

- (1) Nonresidential uses per 1,000 GSF
  - Minimum 1 space
  - Maximum 4 space
- (2) Residential uses
  - Minimum .5 spaces per residential unit
- (3) The first 3,000 square feet of gross ground floor retail area shall be exempt from off street parking requirements.

### 6.4.10 PARKING DESIGN STANDARDS

- (1) No surface parking lots are permitted between the building and the front property line.
- (2) Structured parking is not permitted at first floor street facade. All parking located on the ground floor shall be screened behind active pedestrian or residential uses.
- (3) All above grade structured parking shall be screened by one of the following and is subject to review by the Design Review Board:
  - i. Residential or commercial uses minimum depth of twenty five (25) feet.
  - ii. Green landscaped walls
  - iii. Public art

## 6.4 DOWNTOWN WATERFRONT CONT'D

### 6.4.11 LANDSCAPING

Landscaping standards are pursuant to BMC 20.75.090 except where conflicting the principles of this Chapter supercede.

### 6.4.12 SIGN STANDARDS

Sign standards are pursuant to BMC 20.75.100

### 6.4.13 CHANGE OF USE OR REHABILITATION OF EXISTING BUILDING

Pursuant to BMC 20.75.110



## 6.5 MULTI-FAMILY RESIDENTIAL (1 + 2)

### 6.5.1 INTENT AND PURPOSE

(1) Multi-Family Districts provide a medium to high density residential neighborhood with an active and human scaled streetscape to support the Downtown Regional Center.

(2) Promote infill housing strategies that encourage compatibility with existing housing stock, particularly historic homes on Highland Avenue.

(3) Encourage development to take advantage of unique views and nearby amenities such as shorelines, recreational opportunities, or access to ferries or transit.

(4) Encourage the development of building types with a coherent relationship to the street in order to promote social interaction, and achieve community-wide safety and livability goals. Visual

prominence of surface parking or garages are contrary to the pedestrian oriented nature of the MR zone.

(5) MR-2 promotes an optional courtyard configuration to increase active open space and decrease impervious surfaces for attached, ground oriented, multi-family housing.

(6) Multi-family residential buildings are encouraged to include green building strategies such as green roofs, space for urban agriculture, pervious paving, and natural ventilation.

(7) MR-1 and -2 contains the same dimensional standards except where noted.

6.5.2 USE STANDARDS:

(1) Per BMC Chapter 20.79, except conditional uses Per BMC 20.79.040 are allowed outright.

6.5.3 LOT REQUIREMENTS

(1) Minimum allowable lot size	3,000 sq. ft.
(2) Maximum allowable Impervious Surface*	70% of gross lot area

\* Includes all impervious surfaces. Calculations should be based upon the Stormwater Management Manual for Western Washington, State Department of Ecology, 2005.

6.5.4 HEIGHT REQUIREMENTS

	MAXIMUM HEIGHT	DESIRED NUMBER OF STORIES
(1) Base Height*	60'	5-6
(2) Highland Overlay Zone	35' wall plate 40' roof peak	3
(3) Waterfront Overlay Zone**	40'	4

\* Base maximum is 60' with allowed bonus to 80' with a Transfer Development Right per 6.5.12 of this section.

\*\*Within The MFR 1 Waterfront Overlay Zone, maximum heights shall be calculated from an average of existing grade on Washington Ave at parcel front property line.

6.5.5 PUBLIC AMENITY AND OPEN SPACE REQUIREMENT

(1) Open Space per unit  
150 GSF

(2) Exterior common open spaces must meet the following design standards:

- i. Courtyards shall be improved with pathways, landscaping and pedestrian lighting.
- ii. Common open spaces are preferred to be visible from the street, however internal courtyards are also permissible.
- iii. All exterior common open spaces shall be designed with ample sunlight penetration.
- iv. Exterior common open spaces shall be centrally located so that a majority of residents have access to use.
- v. Any interior courtyard shall be activated by proximity to individual unit entrances or be visible from upper units balconies.

6.5.6 DENSITY

There are no maximum density standards; minimum density must be five (5) dwelling units per acre.

6.5.7. DESIGN STANDARDS

A. Setbacks

I. See Tables 1 and 2

- i. Setbacks are subject to appropriate Street Typology. Setbacks are intended to provide streetscape continuity.
- ii. Setbacks are subject to building structure conditions or the measurement of building heights above street grade.
- iii. Stoops and terraces for ground related entries may be built in the Building Frontage Setback
- iv. Street Tree Landscape Allocation consists of the first four (4) feet within Building Frontage Setback at front street property edge.

SETBACKS MR-1 table 1

Street Type	Building Structure Condition	Building Frontage (Front Setback)	Street Tree Allocation	Minimum Side	Minimum Rear
Residential Streets	less than 40'	10'	4'	5'	15'
	greater than 40'	16' *		15'	15'
Multimodal Streets	up to 60'	10'	4'	5'	15'
Community Boulevard/ Arterial	less than 40'	4'	4'	5'	15'
	greater than 40'	16'		15'	15'

SETBACKS MR-2 table 2

Street Type	Building Structure Condition	Building Frontage (Front Setback)	Street Tree Allocation	Minimum Side	Minimum Rear
Residential Streets/Green Streets	less than 35'	60% of building must be at the 10' setback line.	4'	Both Side Setbacks should equal (20)' with no setback less than (5)' in any location.	15'
	Portions of the building greater than 35' with a floorplate less than (6,000) GSF.	10'			
	Portions of the building greater than 35' with a floorplate exceeding (6,000) GSF.	16'			
Multimodal Streets	up to 60'	10'	4'	10'	15'
Community Boulevard/ Arterial	less than 35'	4'	4'	10'	15'
	greater than 35'	10'	n/a	15'	15'

\* Portions of the front facade above forty (40) feet must include a change in material to designate street wall.

### *B. Structure Modulation*

(1) Structures with heights greater than or equal to forty (40) feet shall have a minimum of a five (5) foot deep recess and a minimum of 10 wide for every fifty (50) feet of linear structural wall.

### *C. Entrances*

(1) Pedestrian entrances are preferred from buildings facing the street, however entrances are also permitted on shared courtyard space. Side entrances, courtyard entrances and entrances more than fifteen (15) feet from the street are permissible with appropriately lighted, maintained, and landscaped pedestrian path.

(2) Individual and articulated entrances are required no less than every fifty (50) feet of building frontage. This may be accomplished with ground related units with street side entrances and stoops and terraces.

(3) First Floor Entrance Heights: Raised entrances at least twenty four (24) inches from sidewalk grade are preferred.

### *D. Transparency*

(1) Blank street walls or non-residential uses such as storage or parking structures are not permitted at ground level on the street front unless topography exposes no more than six (6) foot tall portions for no more than fifty (50) percent of the frontage.

(2) Buildings must have a minimum of fifty (50) percent transparent window openings on the front facade.

### *E. Street Edge*

(1) When located at corners, residential buildings should have two primary facades (composed of the same materials) oriented toward the two streets

(2) Fences abutting the front property line may not be more than four (4) feet in height.

### *F. Privacy and Buffers*

(1) Landscaped buffers shall be provided between residential structures and adjacent commercial uses.

(2) Dumpsters shall be completely enclosed or screened within an architecturally compatible building.



**6.5.8 PARKING REQUIREMENTS**

(1) One (1) parking space per unit is required off-street.

(2) On lots containing greater than fifty (50) percent development coverage; underground, or above grade structured parking is required.

(3) Reduction in parking spaces: The Director of Community Development may reduce the number of required parking spaces on a site in the following cases;

- i. Remodel, expansion or alteration of existing structure may receive a reduction of up to ten (10) spaces.
- ii. Provision of common bicycle storage room or other bicycle storage space with convenient access from street for use by all residents.
- iii. Participation in a flex car program.

(4) Parking shall meet the requirements of Chapter 20.48 BMC except where conflicting the principles of this Chapter supersede.

**6.5.9 PARKING ACCESS**

(1) Parking and vehicular access from an adjacent alley is required where possible. Where alley access is not possible, surface parking and/or garages may not occupy more than thirty (30) percent of street frontage or fourteen (14) feet single occupancy. Driveways shall be minimized to reduce pedestrian impact.

(2) Driveways providing access to parking will be clearly marked.

(3) Site planning of buildings shall not be oriented around a central parking court.

(4) Driveways and parking lot surfaces should make use of permeable and textured paving materials where possible to lessen impact of asphalt paving on street frontage and reduce stormwater impacts.

**6.5.10 GARAGE**

(1) Underground garage entrances must be architecturally integrated to main structure, and be considered secondary to main pedestrian entrance.

(2) Garage entrances, if fronting the street, must have a clear view triangle to protect pedestrians from exiting cars.

(3) Garage entrances must be set back at least five (5) additional feet from front facade.

(3) Garage Design Standards located in BMC 20.60.060 (c) are applicable to single family structures, Townhouses, and Detached Accessory Dwelling Units.

#### 6.5.11 LANDSCAPE

Landscaping shall meet the requirements of Chapter 20.50 BMC. (Ord. 4950 8 (Exh. A) (part) (2005) except where conflicting the principles of this Chapter supercede.

#### 6.5.12 TRANSFER DENSITY CREDIT

Height limit may be increased to 80' with a Historic Preservation Transfer Development Right in any portion of the MR-I zone excepting the Highland Avenue and Waterfront Overlays pursuant to the following measures:

(1) Height limit may be increased to 80' on that portion of a site equal to twice the site area of the property for which a developer has procured a Historic Preservation Transfer Development Right according to procedures of an adopted City of Bremerton Transfer Density Ordinance.

(2) Any structure within the Downtown Regional Center with historic significance according to the criteria in the Bremerton TDR ordinance may be nominated for inclusion on a Bremerton List of Eligible Historic Structures and utilized for a Transfer of Development Right to the MR-I zone.



## 6.6 ONE AND TWO FAMILY RESIDENTIAL (R-20)

### 6.6.1 PURPOSE AND INTENT

(1) Site planning for new housing is encouraged to be compatible with existing neighborhood scale. Building volumes should be arranged in order to contribute to existing neighborhood patterns and ongoing livability.

(2) Promote infill density through a variety of housing types including the single party wall attached townhouses on fee-simple lots, small lot single family and front to back two-family townhouse (Two party wall attached) as a condominium, with alley access.

(3) Ensure all housing units have ground-oriented entries.

### 6.6.2 USE STANDARDS:

(1) Subject to BMC Chapter 20.60.020-20.60.040 with the following changes and additions according to allowable building type:

i. Small Lot Single Family House: Small single family house with open space on all four sides. Minimum street frontage is twenty five (25) ft. and minimum lot size is 2,500 GSF.

ii. Single Party Wall Rowhouse: This townhouse form is a building containing two or more dwellings joined in whole or in part at the side only by a vertical party wall which is insulated against sound transmission. Open space is at either the front or the rear. In some situations, groups of contiguous units may be arranged around a common open space.

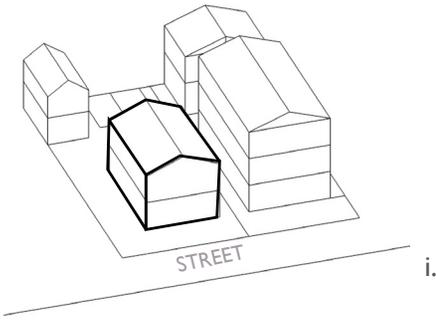
iii. Double Party Wall Townhouse: Townhouse form containing (at minimum) four dwellings joined by two vertical party walls insulated against sound transmission. These buildings, which may have a similar character to a detached single family house

contain ground related entrances for each unit from either the front street or rear alley.

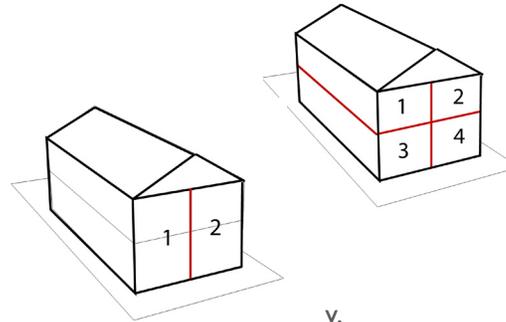
iv. Duplex, Triplex and Fourplex: A building similar in character to a single family house, this building type allows up to 4 individual dwelling units. Each individual unit must contain a ground related entrance. Units may be configured next to each other, on top of each other or both. These building types fit on 40' wide lots or greater.

v. Detached Accessory Dwelling Unit (DADU): Per BMC 20.46.010 with the following additions and subtractions: Accessory dwelling units must be a detached dwelling as an accessory to the main structure. A detached accessory dwelling unit may be incorporated in the garage. Units are subject to size limitations and must have their own off street parking spaces. Carriage houses are architecturally compatible to main house.

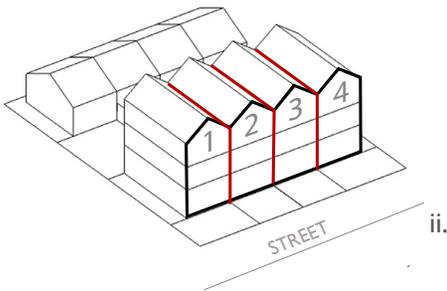
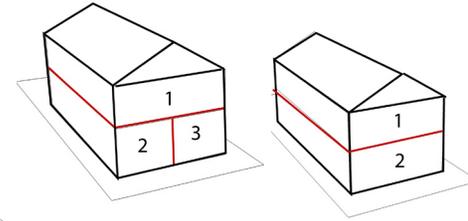
(2) Townhouse configurations with internal drive courts between units are not permitted unless thirty (30) feet or more spacing between front and back units is provided.



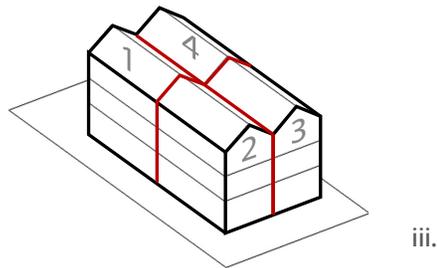
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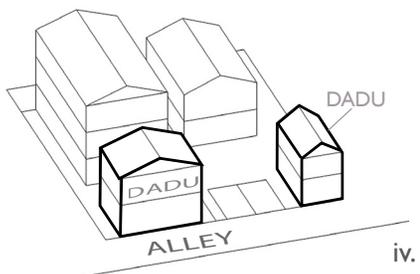
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ii.



iii.



iv.

BUILDING TYPE	<i>Detached Single Family (small lot)</i>	<i>Townhouse - Single Party Wall Attached (minimum 2-units)</i>	<i>Townhouse - Double Party Wall Attached (minimum 4-units)</i>	<i>Duplex, Triplex, Fourplex</i>
OWNERSHIP STRUCTURE	Fee Simple	Fee Simple	Fee Simple/Condominium	Condominium
6.6.3 MINIMUM LOT SIZE	2,550 sq. ft.	1,400 sq. ft.	1,000 sq. ft.	4,000 sq. ft.
6.6.4 MAXIMUM HEIGHT	30' top of wall plate (additional 5' for shed roof peak)	35' top of wall plate (additional 5' shed roof peak)	35' top of wall plate (additional 5' for shed roof peak)	30' top of wall plate (additional 35' for shed roof peak)
6.6.5 MAXIMUM BUILDING COVERAGE	50%	60%	60%	60%
6.6.6 USEABLE OPEN SPACE PER UNIT	15% gross lot area	250 sq. ft. per unit	250 sq. ft. per unit	250 sq. ft. per unit

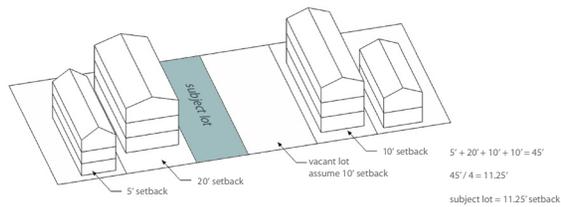
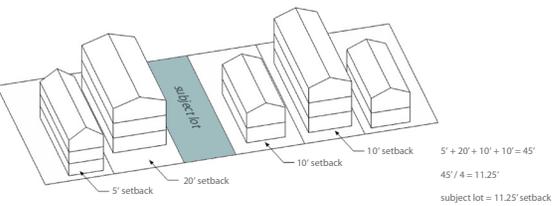
6.6.7 DENSITY

Minimum  
Maximum

Five (5) units per acre  
Twenty (20) units per acre

**DEVELOPMENT STANDARDS**

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**6.6.8 DESIGN STANDARDS**

**A. Setbacks**

i. Terraced entries and stoops may extend into Building Frontage setback.

ii. All residential projects must include 4' Street Tree Planting Allocation within the Building Frontage setback.

iii. Building Frontage setbacks may not contain fencing greater than four (4) feet in height within the Street Tree Allocation.

**B. Maximum Structure Width**

see table

**C. Minimum Unit Width**

see table

A. Setbacks	Detached Single Family (small lot)	Townhouse- Single Party Wall	Townhouse- Double Party Wall	Duplex, Triplex, Fourplex
Minimum Side Setback	5'	5'	Combination of both side setbacks must equal a minimum of 15'; minimum side setback is 5'.	Combination of both side setbacks must equal a minimum of 15'; minimum side setback is 5'.
Minimum Rear Setback(*)	15'	15'	15'	15'
Building Frontage Setback (**) (***)	Average setback of adjacent properties.	Average setback of adjacent properties	Average setback of adjacent properties.	Average setback of adjacent properties
B. Maximum Structure Width	n/a	Four contiguous units or up to seventy two (72) feet whichever is less.	Two attached units along linear street frontage, or fifty (50) feet whichever is less.	48'
C. Minimum Unit Width	20'	14'	14'	n/a

\* DADU may be built on the lot line abutting rear alley.

\*\* Contextual front setbacks are calculated in the following manner;

i. The maximum front and street side building setback may not exceed the average front yard depth of the nearest two lots on either side of the subject lot or ten (10) feet whichever is less.

ii. If one or more of the lots that are included in the averaging calculation are vacant, the lots will be deemed to have a yard depth of ten (10) feet .

iii. Lots fronting a different street than the subject lot or separated from the subject lot by an alley may not be used in computing the average.

iv. When the subject lot is a corner lot, the average setback will be computed on the basis of the two adjacent lots that front on the same street as the subject lot.

\*\*\* Corner Lots;

i. Detached Single Family houses Building frontage setbacks are applicable to only one street provided that front entrances are in context with surrounding houses.

ii. For single party wall and double party wall attached housing front yard setbacks are provided on only one street provided this is in context with surrounding houses and other applicable design standards are met. Entrances are provided from each street frontage.

*D. Entrances*

(1) All single and double party wall townhouse entrances shall face either the front property line or common shared courtyard space. Stacked flats may have entrances off of a side court.

(2) All units (including stacked flats) shall have direct ground access via exterior door. Entries should contain architectural features that provide weather protection and add visual interest to the structure.

(3) All entrances shall be placed at least 24" above street level grade to protect privacy. (Exceptions shall be granted for unique topography as long as privacy from the street is addressed.)

(4) Vehicular entrances shall be from the alley where alleys exist.

(5) Interior drive courts are permitted where no alley access is possible by Design Review.

(6) Interior drive courts shall be designed to balance both pedestrian activity as well as vehicular mobility. Interior drive courts should minimize impervious surfaces through the use of perme-

able paving and changes in both texture and material. Interior drive courts shall contain landscaping with no contiguous impervious surface of more than twenty (20) feet in width at any point.

(7) Vehicular access from fronting streets line is encouraged to share a single curbcut and driveway easements.

*E. Street Context*

(1) When located at the corner of two streets, all types of residential buildings should contain architectural treatments that address both streetscapes including elements such as secondary entrances, wrap around porches or material changes.

(2) Minimum street frontage of building for duplex, triplex, fourplex is twenty five (25) feet.

*F. Windows and Transparency*

(1) All building types within the R-20 zone should maintain the same relative "wall to window ratio" as neighboring residences.

(2) Townhouses should contain at least forty (40) percent of windows on each exterior wall facing a street.

(3) Design should be sensitive to existing window outlooks. Window placement should avoid negatively impacting adjacent existing housing. All new developments should provide landscape and other screening to mitigate privacy concerns where necessary.

*G. Siting*

(1) Buildings shall be designed to fit natural slopes rather than re-grading slope to fit a particular building design where possible.



## 6.6 RESIDENTIAL (R-20) CONT'D

### 6.6.9. PARKING REQUIREMENT

(1) One (1) space per unit required off street parking for residential units with up to two (2) bedrooms.

(2) Two (2) spaces per unit required off street parking for residential with three (3) or more bedrooms.

### 6.6.10. GARAGE

(1) Garage Design Standards per BMC 20.60.060  
(c) *Detached Structures* are applicable to Single family structures, Townhouses, and Detached Accessory Dwelling Units.





DEVELOPMENT STANDARDS

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6.7 NEIGHBORHOOD BUSINESS OVERLAY

6.7.1 PURPOSE AND INTENT

(1) Development overlay allows limited non-residential and commercial uses on the first floor in order to promote a more diverse and walkable neighborhood.

(2) The predominate use for the Overlay is Residential and all uses must be compatible with residential uses.

6.7.2 USE STANDARDS:

1. Residential uses as pursuant to BMC chapter 20.60.020 and uses allowed in the R-20 zone.
2. Non-residential uses as pursuant to BMC chapter 20.82.020 with the following additions:
  - i. Free-standing neighborhood serving commercial business, such as corner stores and restaurants are permitted.
  - ii. Live-work uses, and uses with an associated vertically integrated residential use are allowed throughout the Neighborhood Business Overlay.

6.7.3 LOT REQUIREMENTS

- |                                              |     |
|----------------------------------------------|-----|
| (1) Maximum Building Coverage                | 70% |
| (2) Required open space per residential unit |     |
| 200 sq. ft.                                  |     |

6.7.4 COMMERCIAL SPACE REQUIREMENTS

- (1) 5,000 GSF maximum for all free-standing non-residential businesses.
- (2) 2,500 GSF feet maximum for all restaurants.
- (3) Twelve (12) foot floor to ceiling minimum height on first floor commercial space.\*
- (4) Minimum depth of non-residential spaces is twenty (20) feet.

\* Live/work spaces may have over 75% of rear portions of commercial areas with ceilings between eight (8) and twelve (12) feet.

6.7.5 HEIGHT

(1) Maximum height for structures which include or are adaptable to a non-residential use:	40' wallplate 45' roof peak
(2) Desired number of stories	3

## 6.7.6 DESIGN STANDARDS

### A. Setbacks

Building Frontage Setback	4'
Minimum Side	5'
Minimum Rear	10'
	15' (when abutting residential-only uses)

### B. Minimum Structure Width

(1) Minimum structure frontage width must be a at least sixteen (16) feet of linear street frontage.

### C. Transparency Requirement

(1) Fifty (50) percent of commercial or live/work uses at ground floor facade between two (2) and eight (8) feet must consist of doors or transparent windows.

### D. Articulation

(1) Horizontal facade may continue in an unbroken wall plane for a maximum of thirty (30) feet.

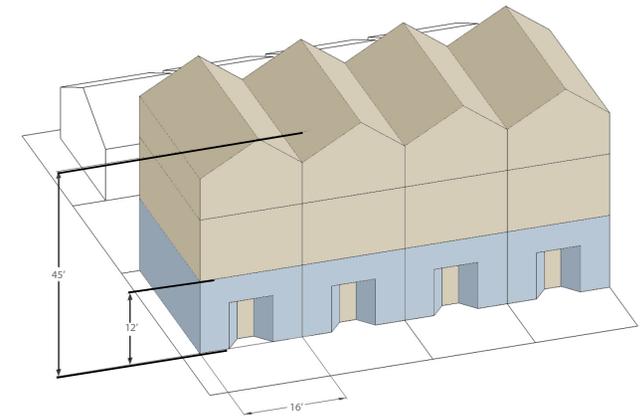
### E. Entrances

(1) Live-Work housing is encouraged to have separate entrances to non-residential component of the unit.

(2) Internal connection between living and working portions of the building is also encouraged.

## DEVELOPMENT STANDARDS

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#### 6.7.7 OFF-STREET PARKING REQUIREMENTS

- (1) One (1) space per residential unit required off-street in order to encourage alternative means of travel.
- (2) No additional parking spaces required for work portion of live-work businesses if spaces are less than 1,500 GSF.
- (3) For free standing commercial establishments, 2,000 GSF or less no customer parking requirement.
- (4) One (1) space per 1,000 GSF of commercial space in excess to (1), (2), (3) listed above.
- (5) Satellite Parking: Required parking may be located within any satellite location within the Downtown Subarea Plan area pursuant to 6.2 of this Chapter.

#### 6.7.8 LANDSCAPING REQUIREMENTS

- (1) Requirements are pursuant to BMC chapter 20.82.090 except where conflicting the principles of this Chapter supercede.

#### 6.7.9 SIGNAGE

- (1) Pursuant to BMC 20.82 in addition to the following:
  - (a) Signage should not overpower streets and should be designed to accommodate a "human" scale. To limit visual clutter, all signs must be directly related to businesses, services or products offered within the premises.
  - (b) Neon signs are permitted provided they are displayed from the interior of storefront windows.

#### 6.7.10 LIGHTING

- (1) All exterior lighting must be shielded or hooded so that the light source is not directly visible across source property line.

#### 6.7.11 CHANGE OF USE

- (1) Conversion of space to commercial for existing buildings that do not meet the requirements of this chapter may be allowable with a change of use permit. This action shall be subject to Design Review and authorization by the Director.





## 6.8 EMPLOYMENT DISTRICT (ED)

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### 6.8.1 PURPOSE AND INTENT

(1) The intent of this zone is to provide a central area for a range of industrial and commercial uses including artistic, light industrial, high tech, research and development and others. Residential uses are allowed but are not intended to dominate other uses in the area. Live/work or work/live residential development that is tolerant of light industrial uses is preferred.

(2) Design standards encourage an adaptable building form that exhibits the physical design characteristics of a traditional warehouse district.

(3) Encourage new development that incorporates building methods and materials to promote permanence and express skilled craftsmanship. Building massing and materials should contrast and be

distinctive from the other neighborhoods in the downtown. The use of metals, exposed concrete and brick materials are encouraged.

(4) Provide housing opportunities for workers as well as vibrancy and increased district activity. Additional FAR bonus will be granted to those developments that include live/work or work/live spaces, as well as a combination of multiple uses.

**6.8.2 USE STANDARDS****Permitted Uses:**

Artist Studio and Gallery  
 Co-location of wireless communications facility  
 Communications and Broadcasting facility  
 Educational facilities  
 General Office and business service  
 General Retail  
 Light industry  
 Live/work  
 Entertainment Use, Motion Picture Theater  
 Outdoor Storage  
 Park/Playground and Open Space  
 Personal Service Business  
 Public Administration  
 Public and Private park  
 Restaurant and drinking place  
 Residential as a secondary use (pursuant to the requirements of 6.8.4)  
 Structured Parking  
 Transportation facility  
 Veterinary hospitals  
 Warehousing  
 Work/live and live/work  
 Welfare and charitable Services  
 Worship, Religious or Community facility

**Prohibited Uses:** Automobile Sales, Service and Repair.

**6.8.2 LOT REQUIREMENTS**

(1) Base Maximum FAR	4.5
(2) Maximum FAR for buildings including a minimum of one floor work/live or live/work	6.0
(3) Minimum FAR	1.0

**6.8.3 HEIGHT REQUIREMENTS**

(1) Maximum Height	80'
(2) Minimum Floor to Ceiling Height	16' first floor 12' upper floors
Desired number of stories	5

**6.8.4 RESIDENTIAL REQUIREMENTS**

(1) Residential uses are accessory to non-residential uses within live-work and work-live associated uses in any portion of a building.

(2) Residential as a secondary use which is not located within a live/work or work/live format may not be located on the ground floor.

(3) At least 25% of residential units must have live/work or work/live configurations.

DEVELOPMENT STANDARDS

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6.8.5 DESIGN STANDARDS

A. Setbacks

Building Frontage*	0'
Minimum Side	0'
Minimum Rear	0' 3' if alley width is less than sixteen (16) feet.

\*At least 75% of building must be located at Building Frontage Setback line.

B. Expression lines

(1) Building design shall express the structural bays and frame with both horizontal expression lines, and vertical expression lines to provide interest and detail to facade.

(2) Expression lines may also consist of fenestration, material change, cornices or other architectural elements to express the building structure and massing.

C. Window to Wall Ratio

(1) Buildings shall be designed in order to contain an appropriate window to wall ratio to optimize daylit interior work environments. To be considered “daylit,” a work environment shall be partially lit with diffused natural light. Buildings shall incorporate elements such as clerestories, light shelves, skylights and high-performance windows to achieve this standard.

(2) Reflective glass is not permitted; translucent materials should be used in all windows and openings.

D. Entrances

(1) Buildings must have a primary pedestrian entrance facing a public sidewalk. Entrances at building corners may be used to satisfy this requirement.

(2) Loading dock entrances and frontage may incorporate rolling overhead or sliding service type doors for indoor/outdoor opportunities.

(3) On 4th Street, raised loading dock entrances may project from the facade into public sidewalk right of way, with adequate transition to desired pedestrian area.

(4) Functional uses on raised docks and or pedestrian oriented activities is encouraged.

E. Screening of Outdoor Storage

(1) Outdoor storage areas must be screened from Pedestrian Area by a minimum of five (5) feet wide and six (6) feet tall of landscaping.

(2) Additional screening walls and fences should be architecturally integral to the main building, including wood, brick, concrete, metals, masonry, and glass.

(3) Chain link fences will not be considered as an appropriate screening material.

(4) Maximum heights for screening walls and fences is one story.

#### F. Parking Design Standards

- (1) Surface parking lots are discouraged and must be screened by a five (5) foot landscaped strip or architecturally integral structural screen between pedestrian area and parking lot.
- (2) No more than thirty (30) percent of the lot may be developed as accessory surface parking.
- (3) Surface parking or structured parking lots may not be located within (30) feet of corner intersections.
- (4) Parking lots should incorporate designs to minimize storm water flow entering storm sewers. Large, contiguous areas of asphalt are discouraged.
- (5) Permeable pavers and bioswales shall be considered where feasible.
- (6) Structured and above grade parking other than corners is allowed if opening are screened with a.) green landscape screens or b.) decorative grilles.



Loading bays may extend into pedestrian area on 4th Street.



Parking Lot facade wall, Jean Vollum Natural Capital Center, Portland OR



## 6.8 EMPLOYMENT DISTRICT (ED) CONT'D

### 6.8.6 PARKING REQUIREMENTS

- (1) Residential: One (1) off street parking space per residential unit.
- (2) Non-residential:
  - i. No parking required for the first 5,000 GSF of non-residential space.
  - ii. At least one (1) but not more than three (3) parking spaces required per each 1,000 GSF over the 5,000 GSF exemption.
- (3) Time Shared Parking: Any parking stall the applicant can demonstrate to be shared by users during complimentary hours, such as residential user after 5 PM and employee user between 8 AM and 5 PM may count towards the parking requirement for both uses.
- (4) Satellite Parking: Required parking may be located within any Satellite location within the Downtown Subarea pursuant to the Satellite Parking requirement per 6.2 of this Chapter.





## 6.9 PEDESTRIAN ORIENTED MIXED USE (POMU)

### 6.9.1 PURPOSE AND INTENT

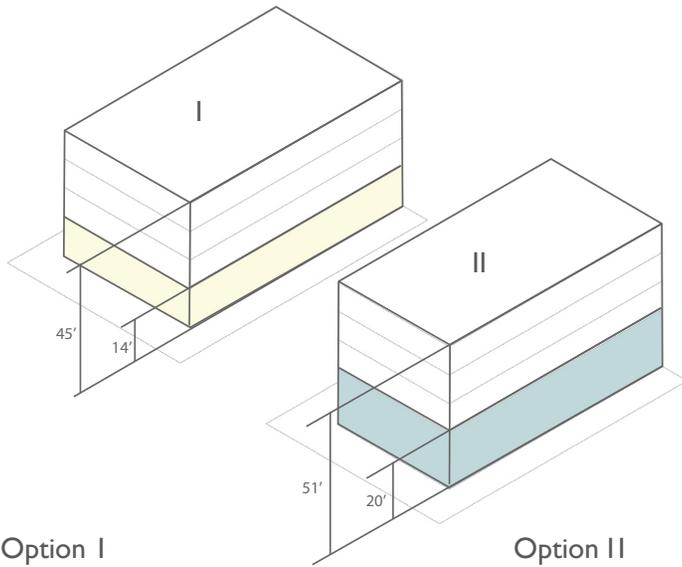
(1) This zone is designed to create a transit supportive, pedestrian friendly corridor with medium-density residential uses featuring neighborhood retail and services on the ground floor.

(2) Design standards encourage development that exhibits the physical design characteristics of pedestrian-oriented, storefront style shopping streets. Pedestrian Oriented Mixed use buildings are intended to contain both residential and commercial uses in a single building.

(3) Parking requirements are lowered in order to promote alternative modes of transportation, and enable more compact development patterns.

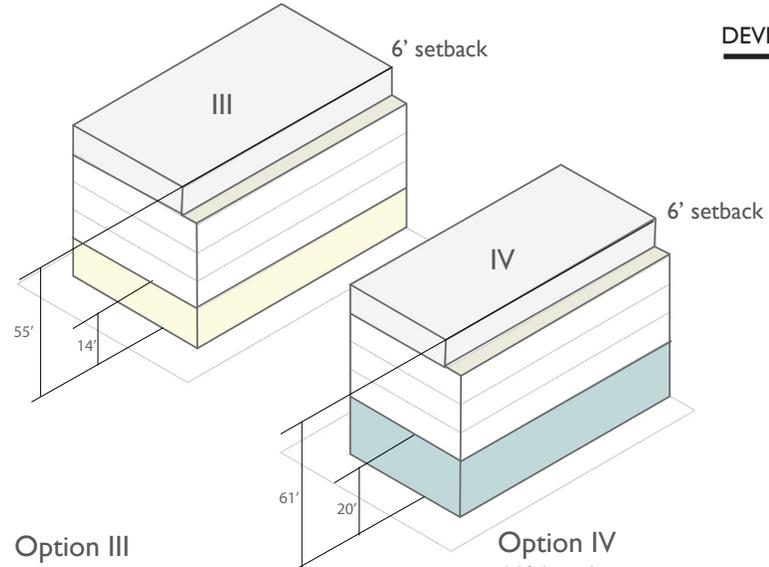
### 6.9.2 USE STANDARDS

- (1) Pursuant to BMC 20.70.020 with the following additions:
  - i. Residential uses of all types
  - ii. Worship or religious facility
- (2) Ground oriented uses must conform to either a. or b. following:
  - a. At least 50% of floor area abutting the linear sidewalk level should be “pedestrian oriented.”
  - b. The floor area abutting at least fifty (50) percent of the linear sidewalk level frontage shall be designed and constructed to accommodate future conversion to “pedestrian oriented” uses and may be occupied by any use permitted in the zoning district. The areas designed and constructed to accommodate future conversion shall meet the following standard, in addition to any other required basic or additional design standards;
    - i. The sidewalk level façade must include an entrance or entrances to accommodate a single or multiple tenants or be structurally designed so entrances can be added when converted to the building uses listed in paragraph above.
- (3) All uses fronting on Pleasant Avenue are restricted to Residential only as defined in chapter BMC 20.79 and are subject to the Design Standards of Section 6.2.4 MFR zone.
- (4) Prohibited Uses:
  - i. Drive through lanes and facilities
  - ii. Automobile sales, service, repair or carwash.



**Option I**  
4-stories  
45' height limit  
14' first floor

**Option II**  
51' height  
4-stories  
20' first floor



**Option III**  
55' height  
5th story setback  
14' first floor

**Option IV**  
61' height  
5th story setback  
20' first floor

**6.9.3 LOT REQUIREMENTS**

(1) Maximum FAR for mixed use building	4.25
(2) All other buildings	3.0
(3) Minimum FAR	1.5

**6.9.4 OPEN SPACE REQUIREMENTS**

- (1) Open space per residential unit  
100 sq. ft.

**6.9.5 COMMERCIAL SPACE REQUIREMENTS**

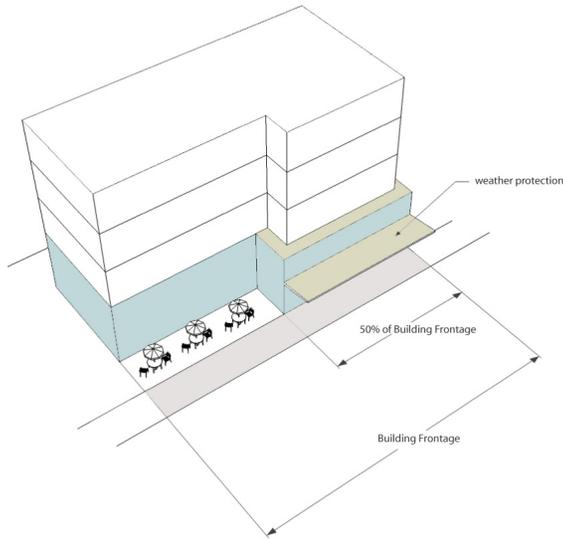
- (1) Commercial use maximum at ground floor  
15,000 GSF per individual use
- (2) All commercial spaces must have a minimum depth of thirty (30) feet.

**6.9.5. HEIGHT REQUIREMENTS**

- (1) Maximum structure height is forty-five (45) feet.
- (2) All commercial space provided on the ground floor must have a fourteen (14) foot minimum floor to ceiling heights
- (3) Maximum building heights may be increased by one foot for each additional foot of height at the ground floor above fourteen (14) feet to a maximum of six (6) feet.
- (4) Maximum building height may be increased with DRB discretion to achieve an additional story above four stories (see diagrams above). The top story must be set back six (6) feet from the facade to provide ample sunlight penetration.

**6.9.6 INDOOR OUTDOOR OPERATIONS**

- (1) All permitted uses in this district must be conducted within completely enclosed buildings. This requirement does not apply to off-street parking or loading areas, automated teller machines, outdoor seating areas or temporary sidewalk displays and/or activities.



6.9.7 DESIGN STANDARDS

A. Setbacks

- i. Setbacks are subject to applicable Street Typology.
- ii. Building Frontage setbacks on Residential Typed Streets may include architecturally integrated stoops and terraces.
- iv. Residential Streets: Building Frontage Setbacks may not contain fencing greater than four feet (4) in height within Street Tree Allocation.
- v. Building may be setback in order to accommodate an outdoor eating area. In order to preserve the continuity of the street wall at least fifty (50) percent of the building must be located within the Building Frontage Setback. (see figure at left)

Setbacks POMU

Street Type	Heights	Building Frontage	Street Tree Allocation	Minimum Side	Minimum Rear
Residential Streets (same as MFR I)	less than 40'	10'	4'	0'	15'
	greater than 40'	16'		10'	15'
Primary Pedestrian	less than 40'	0'-5'	N/A	0'	10% of lot depth (or 10' max)
		see diagrams in 6.8.5			abutting residential zones 20% of lot depth (or 20' max)
Multi Modal / Arterial	less than 40'	0'-5'	N/A	5'	10% of lot depth (or 10' max)
	greater than 40'	0'-5'		15'	abutting residential zones 20% of lot depth (or 20' foot max)

B. Facade

(1) Facade may not continue in an unbroken line for more than thirty (30) feet.

### *C. Building Transparency*

- (1) A minimum of sixty (60) percent between two (2) and twelve (12) feet in height must be comprised of doors or lightly colored windows that allow views of indoor space or product display areas.
- (2) The bottom of any window used to satisfy transparency requirement may not be more than three and one half (3.5) feet above the adjacent sidewalk.
- (3) The transparency standard may be reduced for buildings located on a sloping site by eliminating application of this standard to that portion of the building façade where the slope makes application of the requirement impracticable.
- (4) A decorative grille, work of art, or similar treatment may be used to meet this standard on those portions of the façade where it can be demonstrated that the intrusion of natural light is detrimental to the sidewalk level use.

### *D. Entrances*

- (1) Buildings must have a primary entrance door facing a public sidewalk. Entrances at building corners may be used to satisfy this requirement.
- (2) Building entrances may include doors to individual shops or businesses, lobby entrances, to pedestrian oriented plazas, or courtyard entrances to a cluster of shops or businesses.
- (3) Buildings shall have at least one entrance per fifty (50) linear feet of sidewalk.

### *E. Vehicular and Parking Access*

- (1) Vehicular and loading access shall be from rear alleyways.
- (2) Where alleys do not exist, vehicular access shall be from non pedestrian primary streets.
- (3) Driveways crossing a Primary Pedestrian Street must be clearly marked with clear signage and a cross with a minimum five (5) by five (5) foot notched view triangle to increase pedestrian safety.

### 6.9.9 PARKING DESIGN STANDARDS

(1) Developments are required to screen all structured, above ground parking behind decorative grilles or green screens. Structured parking is not permitted at the first floor street facade.

(2) Surface Parking Lots shall be located to the rear of buildings, and are not permitted between the building and front property line.

(3) Surface parking lots greater than five thousand (5,000) square feet require clearly identifiable, continuous, and lighted pedestrian paths of at least five (5) feet in width through surface parking lot to building entrance. In addition to the marked path, a continuous landscaped area of three (3) feet in width must be included on at least one side of the path except where the pathway crosses vehicular travel lanes. Decorative paving materials such as brick, scored concrete, smooth cobble, and similar materials shall be used at entries, crosswalks,

pedestrian paths and may be used as an accent throughout a parking area.

(4) Parking lots shall incorporate designs to minimize storm water flow entering storm sewers. Large, contiguous areas of asphalt are discouraged.

(5) Permeable pavers and bio swales shall be considered where feasible.

### 6.9.10 PARKING REQUIREMENTS

(1) Residential: One (1) space of parking required per residential unit.

(2) Commercial:

i. No off-street parking is required for the first 5,000 GSF of commercial space.

ii. At least (1) but not more than (3) three spaces required per each 1,000 GSF over the 5,000 GSF exemption.

(3) Satellite Parking: Required parking may be located in any satellite location within the Downtown Subarea pursuant to 6.2.3 of this Chapter.

(4) Any parking stall the applicant can demonstrate to be shared by users during complimentary hours, such as residential user after 5PM and employee user between 8AM and 5PM may count toward the parking requirement for both uses.

### 6.9.10 LANDSCAPING REQUIREMENTS

(1) Subject to BMC 20.50.040 except where conflicting the principles of this Chapter supercede.

(2) Landscaped buffers of five (5) feet in depth between non-residential components and adjacent residential uses are required.



DEVELOPMENT STANDARDS

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6.10 Downtown Support District (DSD)

6.10.1 PURPOSE AND INTENT

(1) This zone is intended to provide a commercial district of medium density to transition to lower scaled uses outside of the downtown.

Commercial and mixed uses are anticipated close to downtown and at street intersections of 6th Street & Warren Avenue and Burwell Street & Warren Avenue, and then transitioning to residential uses at the edge.

(2) Design standards encourage development that exhibits the physical design characteristics of pedestrian-oriented, storefront style shopping streets.

(3) Warren Avenue is a major regional serving arterial with limited local access.

6.10.2 USE STANDARDS

- (1) Pursuant to BMC Chapter 20.74.020
- (2) Requirements for mixed-use or commercial: For parcels at the intersection of 6th Street & Warren Avenue and Burwell Street & Warren Avenue development shall have ground oriented commercial uses at the street. At least 50% of the ground floor area facing the public sidewalks shall be "pedestrian oriented."
- (3) Prohibited Uses: Automobile sales, services, and repair, strip clubs and adult cabarets.

6.10.3 LOT REQUIREMENTS

(1) Maximum FAR	4.5
(2) Minimum FAR	1.0
(3) Required open space per residential unit 100 GSF	

6.10.5 HEIGHT REQUIREMENTS

(1) Maximum structure height	60'
(2) Minimum structure height	18'

(3) All commercial space provided on the ground floor have a minimum of (14) feet floor to ceiling height.

6.10.4 COMMERCIAL SPACE REQUIREMENTS

- (1) Commercial use maximum at ground floor  
20,000 GSF per use
- (2) All commercial spaces must have a minimum depth of thirty (30) Feet

6.10.6 INDOOR/OUTDOOR OPERATIONS

(1) All permitted uses in this district must be conducted within completely enclosed buildings. This requirement does not apply to off-street parking or loading areas, automated teller machines or outdoor seating areas.

6.10.7 DENSITY

(1) No maximum density within the DSD zone

*A. Setbacks*

- i. Setbacks are applicable to Street Typology to achieve an enhanced pedestrian area.
- ii. Building Frontage areas may be used only for entrance areas, works of art, sidewalk extensions, street trees and publicly accessible plazas.
- iii. Street Tree Allocation consists of the first four (4) feet within Building Frontage Setback at front property edge.
- iv. Parking is prohibited in all setback areas.
- v. Setbacks abutting residential zones must include a landscaped buffer of at least five (5) feet in width.

*Setbacks DSD Zone*

Street Type	Structure Height Condition	Building Frontage (Front Setback)	Street Tree Allocation	Minimum Side	Minimum Rear
Regional Arterial	less than 40'	0'	4'	0'	10'
	greater than 40'	6'		10'	15'
Multimodal	less than 40' in height	0'	4'	0' unless abutting residential zone, 10'	10'
	greater than 40' in height	6'			
Residential	less than 40' in height	10'	4'	5'	15'
	greater than 40' in height	16'*	4'	15'	15'

\*Portions of the front facade above 40' must include a change in material to designated street wall.

*B. Building Transparency*

- (1) A minimum of fifty percent (50) between two (2) and eight (8) feet in height must be comprised of doors or transparent windows that allow views of indoor space or product display areas.

*C. Entrances*

- (1) Buildings must have a primary entrance door facing a public sidewalk. Entrances at building corners may be used to satisfy this requirement.
- (2) Building entrances may include doors to individual shops or businesses, lobby entrances to pedestrian oriented plazas, or courtyard entrances to a cluster of shops or businesses.
- (3) Building entrances must be spaced no less than one entrance per fifty (50) lineal feet of sidewalk.

*D. Access*

- (1) Vehicular access shall be from alleys where possible.

*E. Facade*

- (1) Facade may not continue in an unbroken line more than thirty (30) linear feet without articulation of a minimum of four (4) feet in depth.

### 6.10.9 PARKING REQUIREMENTS

- (1) Residential: One (1) off street parking space per residential unit.
- (2) Commercial:
  - i. No parking required for the first 5,000 GSF commercial space.
  - ii. At least one (1) but not more than three (3) parking spaces required per each 1,000 GSF over the 5,000 GSF exemption.
- (3) Time Shared Parking: Any parking stall the applicant can demonstrate to be shared by users during complimentary hours, such as residential user after 5PM and employee user between 8AM and 5PM may count toward the parking requirement for both uses.
- (4) Satellite Parking: Required parking may be located within any satellite location within the

Downtown Subarea Plan area pursuant to the Satellite Parking requirement per BMC 20.48.220. transit.

(5) Reductions also allowable according to tenancy and or installation of shared bike facility.

### 6.10.10 PARKING DESIGN STANDARDS

- (1) Screening of Parking: The street-facing, ground-level facades of parking garages shall be designed to screen the view of parked cars. Where commercial or residential space is not available to accomplish this, features such as planters, decorative grilles, or works of art shall be used.
- (2) Surface Parking lots shall be located to the rear of buildings, and are not permitted between the edge of the building and the street.

- (3) For surface parking lots greater than five thousand (5,000) square feet require clearly identifiable, lighted and landscaped pedestrian paths of at least five (5) feet in width through surface parking lot to building entrance. Decorative paving materials such as brick, scored concrete, smooth cobble, and similar materials shall be used at entries, crosswalks, pedestrian paths and may be used as an accent throughout a parking area. A continuous landscape area of three (3) feet wide on at least one side of path except where pathway crosses vehicular travel lanes.
- (4) Parking lots shall incorporate designs to minimize storm water flow entering storm sewers. Large, contiguous areas of asphalt are discouraged.
- (5) Permeable pavers and bio swales shall be considered where feasible.

#### 6.10.11 LANDSCAPING REQUIREMENTS

- (1) Pursuant to BMC 20.50.040 except where conflicting the principles of this Chapter supercede.
- (2) Landscaped buffers of five (5) feet in depth between non-residential components and adjacent residential uses are required.

### 6.11 BONUS AMENITY PROGRAM

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Within the Downtown Core and Downtown Waterfront Zones a special amenity is required to be provided whenever a proposed development increases its floor area ratio above the base.

Heights within the DC and DW areas are pursuant to Chapter 6 figure 6.3.

The design of each feature will be reviewed to ensure that it is appropriate for the proposed location and provides for a public benefit. Developers are encouraged to collaborate with DCD to prioritize and choose from the amenities listed in the table following.

Development bonuses are calculated according to the ratios below at (x) sq ft of amenity space to (y) sq ft of proposed development area.

A prerequisite to participation in the Bonus Amenity Program will be at least forty (40) percent of of square footage must originate from Tier One of the Bonus Chart I-6.

Public Amenity or Benefit Tier One - (40%) of total sq ft		Land Use Ratio		Exemption from FAR Calcs.	Design Criteria
		DC	DW		
1.	<i>Widening Sidewalks</i> - Prerequisite requirement for participation in amenity bonus program	1:10	1:2		Increases to the sidewalk width inside the property line is required for all projects participating in the amenity bonus program. Sidewalk width shall be increased to desired walkway as required by the Street Typologies for the length of the property along the right of way.
2.	<i>Public Plazas (a) Uncovered (b) Covered</i>	1:20	N/A see 2A		Continuous pedestrian open space, both hardscaped and landscaped, accessible to the public at or near grade. Minimum size of 300 SF, minimum dimension (a) 10' and (b) 16', seating and associated planting areas may be included. (a) Canopies, awnings, bays and balconies may protrude into open space above up to 6'.
2A	<i>Street-end Waterfront Park</i>	N/A	1:5		Continuous pedestrian open space or park with a minimum frontage of 60' along Washington Avenue. At any point the park may be no less than 20' wide. Park must consist of a minimum of 3,600 SF. This area shall be privately built and maintained. Where an open space feature is on an adjacent site, the 60' open space street frontage shall be contiguous. See section 6.4.6 for further criteria.
3.	<i>Mid-block Pedestrian Promenade (a) Uncovered (b) Covered:</i>	1:20	N/A		Pedestrian way bisecting the depth of long blocks, street to street or to alley with minimum (a) 18' and (b) 16' Pedestrian Through Zone. (a) Buildings fronting on the pedestrian promenade are applicable to associated transparency guidelines. (b) Buildings fronting on the pedestrian promenade must have 75% transparent facades to adjacent commercial/retail uses..
3A	<i>Public Boardwalk Connection (between 5th and 6th Street)</i>	N/A	Add 1.0 FAR		Publicly accessible connection between Washington Ave and waterfront boardwalk. Minimum dimensions, design standards, ownership and maintenance agreements must meet the parameters of the Bremerton Public Works and Utilities. In order to complete a connection from 5th street-end a publicly accessible elevator must be included. Pedestrian walkway and access to the new boardwalk connection should be conveniently located near street-ends where feasible.
4	<i>Mid-block Vehicular Promenade</i>	1:20	N/A		Car and pedestrian way bisecting the depth of a long blocks, street to street with a minimum 8' wide walkways and landscaping. Must have 60% transparent facades to adjacent commercial and retail uses or have ground related entrances for live/work units. Access to loading, service, and parking allowable on 40% of facade.
5	<i>Pocket Parks</i>	1:20	N/A		Continuous open space, predominantly landscaped, accessible to the public at or near grade, open to the sky. Minimum size of 500 SF, minimum dimension 10', seating and associated walking areas may be included
6	<i>Child Care Services</i>	1:15	1:5	Yes	A use for regular licensed care and training of children for less than 18 hours per day. Minimum 1000 square feet.

Public Amenity or Benefit Tier Two		Land Use Ratio		Exemption from FAR Calcs.	Design Criteria
		DC	DW		
7	<i>Workforce Housing:</i> Serving households between 80% to 120% median income	1:10	N/A		Area of units to be rented or sold (in perpetuity) to households meeting this income requirement per the local metropolitan statistical area generally used by HUD to establish income limits for federal programs.
8	<i>Low Income Housing:</i> Serving households below 80% median income.	1:10	N/A		Area of units to be rented or sold (in perpetuity) to households meeting this income requirement per the local metropolitan statistical area generally used by HUD to establish income limits for federal programs.
9	<i>Ground Related Townhouse Terraces:</i>	1:10	1:5		On side streets, in mid-block crossings or activated alleys. Raise terrace 18" minimum above sidewalk. Min 10' deep from sidewalk to face of townhouse, with private terrace and landscaping buffer.
10	<i>Activated Alleys:</i>	1:5	N/A		Setback areas inside property line along alleys with landscaping, special paving or raised terraces/entrances for live/work units. Area of alley may be included in Amenity ratio where higher quality or special paving materials are provided. Pedestrian scaled lighting is also required.
11	<i>Landscaping at Grade:</i>	1:5	1:1		Areas of landscaping at grade inside property lines or in sidewalk areas beyond minimum design standards of streetscape typologies. Must be visible from public areas. "Green Screen" type vertical wall planting areas on the 1st or 2nd floor may be included but may not exceed 25% of overall public right of way façade.
12	<i>Green Roofs:</i>	1:10	1:5		Areas of planted "green" roof. Minimum dimension 5', minimum continuous area 100 SF.
13	<i>Sculpture, Public Art:</i>	**	N/A		1 SF per dollar of assessed value, up to \$50,000SF (50,000 SF), must be at or near street level, publicly visible and prominent, located on the exterior of the building or in a courtyard or planting area. The requirement for artwork may be filled in by providing one major work as a focal point, or several smaller works, as appropriate to the design of the public spaces. Subject to Design Review and Art Commission Approval.
14	<i>Water Feature:</i>	1:30	N/A		Fountain, stream or reflecting pond visible at street level.
15	<i>Below Grade Parking:</i>	0.5:1	**	Yes	Enclosed in a structure below average finished grade including access ramps.
16	<i>Above Grade Parking:</i>	0.0	0.0	Yes	Parking within a structure at or above grade. Must have other uses minimum 20' deep buffering primary street frontages at street level. Upper floors must have DRB approved "green screen", sculptural grillwork or other façade treatment.
17	<i>Cultural or Civic Space, Public Meeting Rooms:</i>	1:10	1:5	Yes	Performing arts space, art gallery, public library, community center, public recreation facility. Spaces available for public meetings, gatherings.
18	<i>Historic Preservation:</i>	**	**		Establishing or dedicating a building for landmark preservation status or participating in the city TDR program. Add 2 SF of bonus area for every SF preserved in the historic building. Nominated structures must be within the Downtown Subarea and must be and formally approved by the City of Bremerton as an Eligible Structure.
19	<i>LEED Certification:</i>	**	**		Projects meeting the USGBC LEED NC, CS or ND program. Certified rating adds 0.25 to base FAR as bonus, silver rating adds 0.5 to base FAR as bonus, gold rating adds 0.75 to base FAR as bonus, platinum rating adds 1.0 to base FAR as bonus. The developer must submit a letter of intent that communicates their commitment to achieve a LEED rating on their project before issuance of the Master Use Permit. The City will then issue subsequent permits and the final Certificate of Occupancy based on this good faith commitment. Within 180 days of receiving the final Certificate of Occupancy, the developer must submit documentation that demonstrates achievement of a LEED rating. Non compliance will result in a 0.1% fine on the permitted construction value (\$10,000 on \$10,000,000 construction value)
20	<i>Residential Common Amenity Rooms:</i>	1:1	1:1	Yes	Semi public interior amenity areas in multifamily buildings for residents' common use, such as party rooms, guest suites, exercise facilities, libraries, conference rooms, spas, etc. Amenity features are required to be open and accessible to the public without charge during normal operating hours of the building.
21	<i>Bicycle Commuter Support Spaces:</i>	1:30	1:10	Yes	Bicycle storage rooms, associated shower & locker rooms.